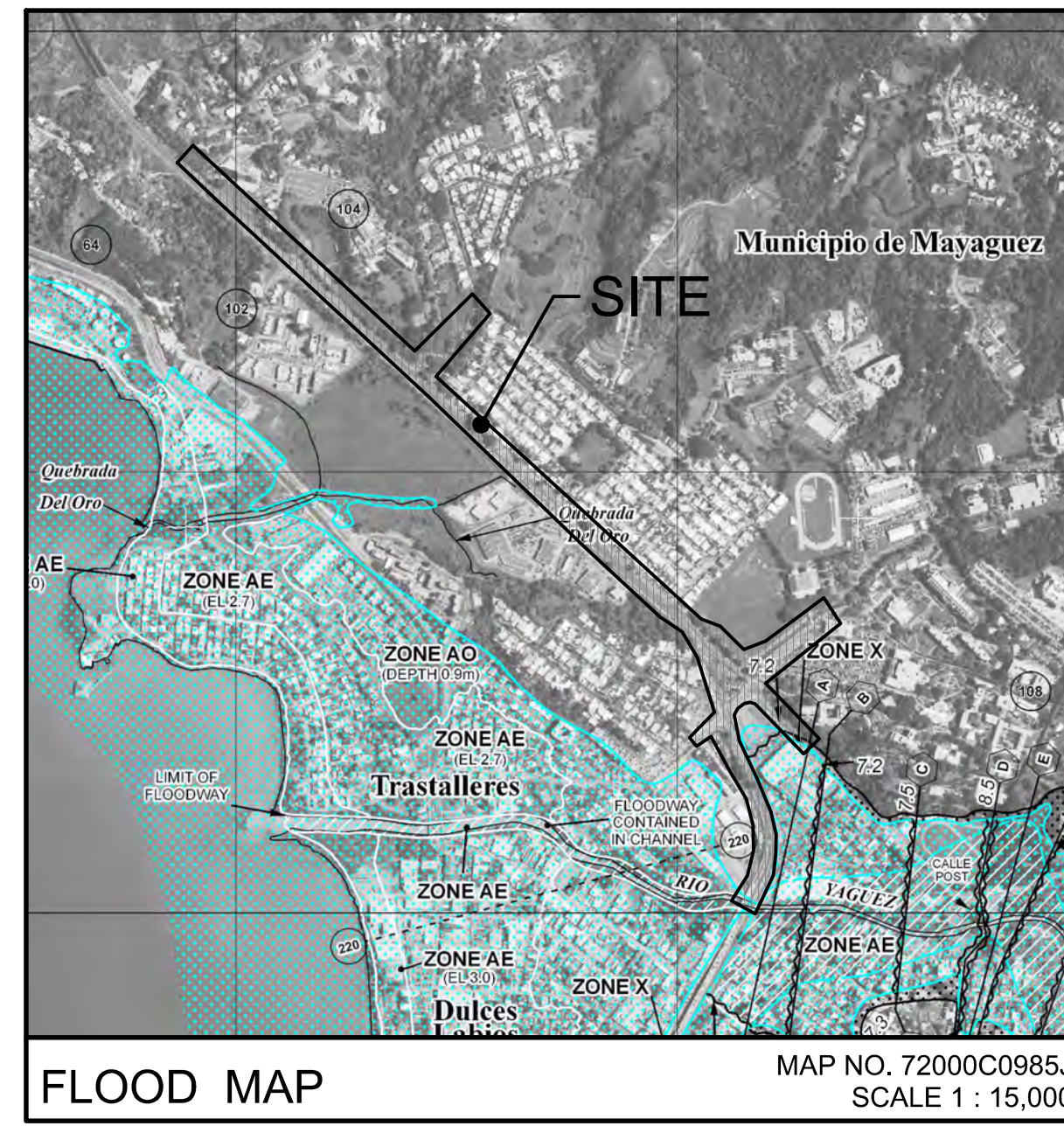
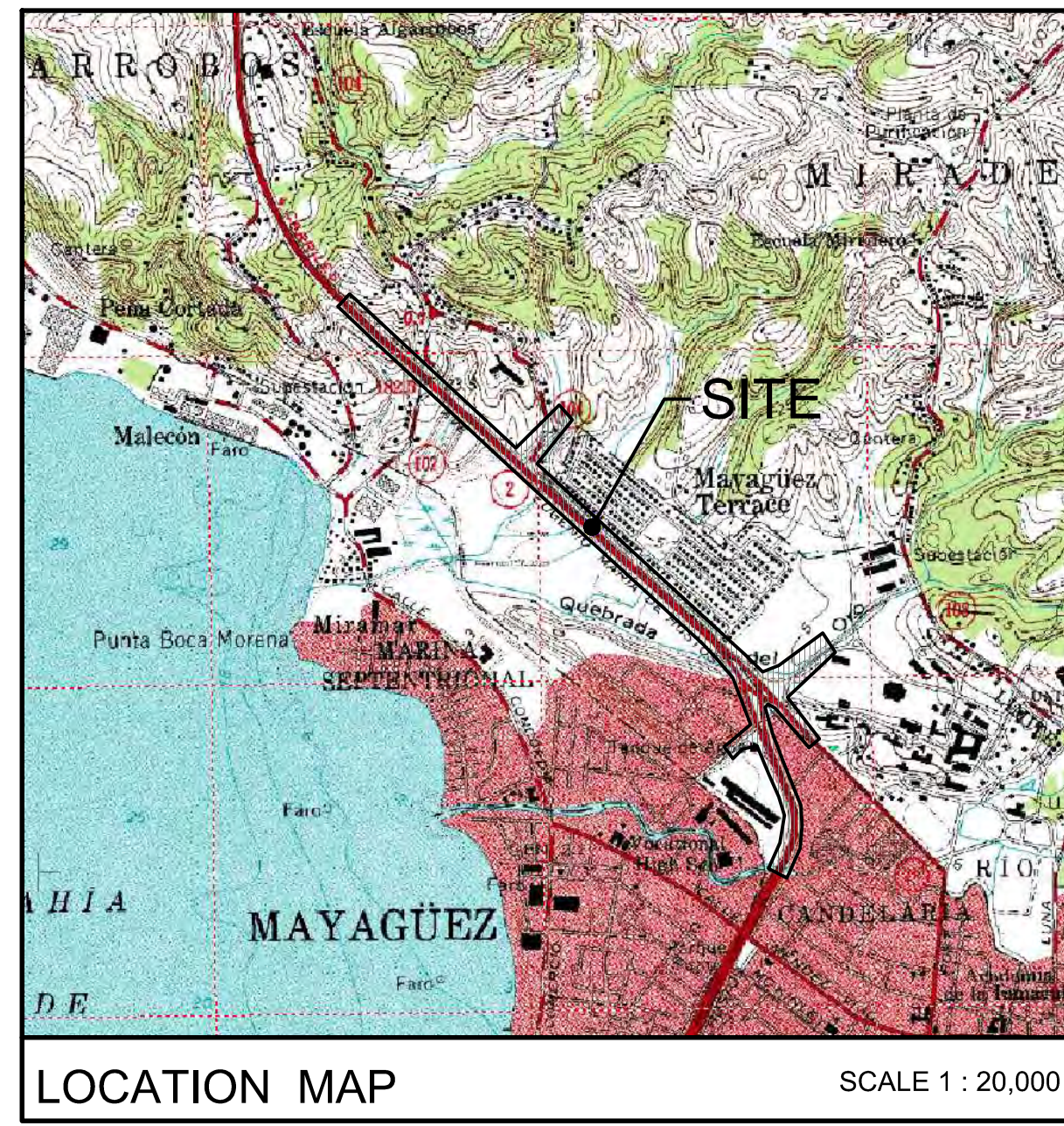


Appendix 8
Site Topographic & Utility Survey



EXISTING CONDITIONS, TOPOGRAPHIC AND SUBSURFACE UTILITY SURVEY FOR IMPROVEMENTS TO INTERSECTION PR-2, 2R, AND SAN JUAN STREET (LA VITA) LOCATED AT STATE ROAD PR-2, KM 153.90, INT. WITH STATE ROAD PR-2R MUNICIPALITY OF MAYAGUEZ, PUERTO RICO.

INDEX :

SHEET NO.	DESCRIPTION
VF-1	TITLE SHEET, GENERAL NOTES, LEGEND AND MAPS.
VF-2	GENERAL SITE PLAN & CONTROLS.
VF-3	SURVEY CONTROLS
VF-4	SURVEY CONTROLS
VF-5	SURVEY CONTROLS
VF-6	SURVEY CONTROLS
VF-7	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-8	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-9	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-10	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-11	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-12	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-13	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-14	EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY.
VF-15	SUBSURFACE UTILITY SURVEY.
VF-16	SUBSURFACE UTILITY SURVEY.
VF-17	SUBSURFACE UTILITY SURVEY.
VF-18	SUBSURFACE UTILITY SURVEY.
VF-19	SUBSURFACE UTILITY SURVEY.
VF-20	SUBSURFACE UTILITY SURVEY.
VF-21	SUBSURFACE UTILITY SURVEY.
VF-22	SUBSURFACE UTILITY SURVEY.

LEGEND:

	CONTROL STATION		TWO SIDE METAL LIGHT POLE		CONCRETE GUTTER
	PROPERTY POINT		METAL POWER POLE		SANITARY SEWER LINE
	SANITARY SEWER MANHOLE		STREET LIGHT POLE		STORM SEWER LINE
	STORM SEWER MANHOLE		KM ID		WATER LINE
	ELECTRIC UTILITY MANHOLE		SANITARY CLEAN OUT		TELEPHONE LINE
	TELEPHONE MANHOLE		FIRE HYDRANT		POWER LINE
	WATER MANHOLE		CURB INLET		CHAIN LINK FENCE
	HEAD WALL		PUBLIC TELEPHONE BOOTH		BARBED WIRE FENCE
	CATCH BASINS		UNDERGROUND POWER LINE		UNDERGROUND TELEPHONE LINE
	WATER METER		STREET LIGHT BOX		UNKNOWN UNDERGROUND LINE
	WATER VALVE		HANDICAP RAMP		GUARDRAIL
	CONCRETE LIGHT POLE		SIGN		SPOT ELEVATIONS
	CONCRETE POWER POLE		EXISTING TREE		CONTOUR INTERVAL EVERY 1.0 METER
	CONCRETE POWER & TELEPHONE POLE		BOLLARDS		CONTOUR INTERVAL EVERY 5.0 METER
	UTILITY POLE		RISER		EXISTING STRUCTURES
	WOODEN POWER/ TELEPHONE POLE		VERTICAL PIPE		CONCRETE SLAB
	TELEPHONE POLE		BIT		SANITARY SEWER LINE (AS REPORTED)
	WOODEN POWER POLE		FIRE WATER NOZZLE		WATER LINE (AS REPORTED)
	WOODEN LIGHT POLE		WALL LIGHT		WETLAND DELINEATION
	GUY POLE		BORING		
	NOT IN USE POLE		ELECTRIC BOX		
	CAMERA POLE		METAL CAP		
	METAL LIGHT POLE				
	MONITORING WELL				

ABBREVIATIONS:

C.B.	CATCH BASIN
S.M.H.	SANITARY SEWER MANHOLE
S.T.M.H.	STORM SEWER MANHOLE
EMH	ELECTRIC MANHOLE
CONC.	CONCRETE
C.S.	CONCRETE SLAB
B.S.	BUS STOP
F.F.E.	FINISH FLOOR ELEVATION
A.E.P.	PUBLIC BUILDING AUTHORITY
J.P.	"JUNTA DE PLANIFICACION DE PUERTO RICO"
N/A	NO ACCESS
PREPA	PUERTO RICO ELECTRIC POWER AUTHORITY
PRASA	PUERTO RICO AQUEDUCT AND SEWER AUTHORITY
T.W.E.	TOP OF WALL ELEVATION
I.E.	INVERT ELEVATION
T.E.	TOP ELEVATION
Ø	PIPE DIAMETER
H.W.	HEADWALL
C.I.	CURB INLET
UNK	UNKNOWN
M.C.	METAL CAP
E.B.	ELECTRIC BOX

GENERAL NOTES:

- ALL DISTANCES ARE EXPRESSED IN METERS, UNLESS OTHERWISE NOTED.
- FIELDWORK PERFORMED FROM NOVEMBER 3 THRU DECEMBER 9, 2016.
- HORIZONTAL CONTROLS ARE REFERRED TO NAD 83 (2011/PA11/MA11) EPOCH 2010.00.
- VERTICAL DATUM IS REFERRED TO PRVD02.
- PLEASE REFER TO SURVEY JEB-2939.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULT OF THE SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS AN INDICATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND MEASUREMENTS AND ADVISE ARCHITECT OR OWNER OF ANY DIFFERENCES.
- PLANIMETRIC MAPPING ENHANCED WITH RECORD AERIAL MAPPING, SHOWN FOR REFERENCE PURPOSES. ONLY INFORMATION COLLECTED ON GROUND SHALL BE USED FOR ENGINEERING DESIGN.
- SUBSURFACE UTILITIES WERE LOCATED TO A QUALITY LEVEL 9 OF SPECIFICATION ASCE 3802. DUE TO THE FINDINGS WITHIN THE SURVEY LIMITS, IT IS RECOMMENDED THAT NON DESTRUCTIVE EXCAVATIONS BE PERFORMED FOR WORK IN THESE AREAS.



NO.	DATE	BY	DESCRIPTION

JAVIER E. BIDOT ASSOCIATES, PSC
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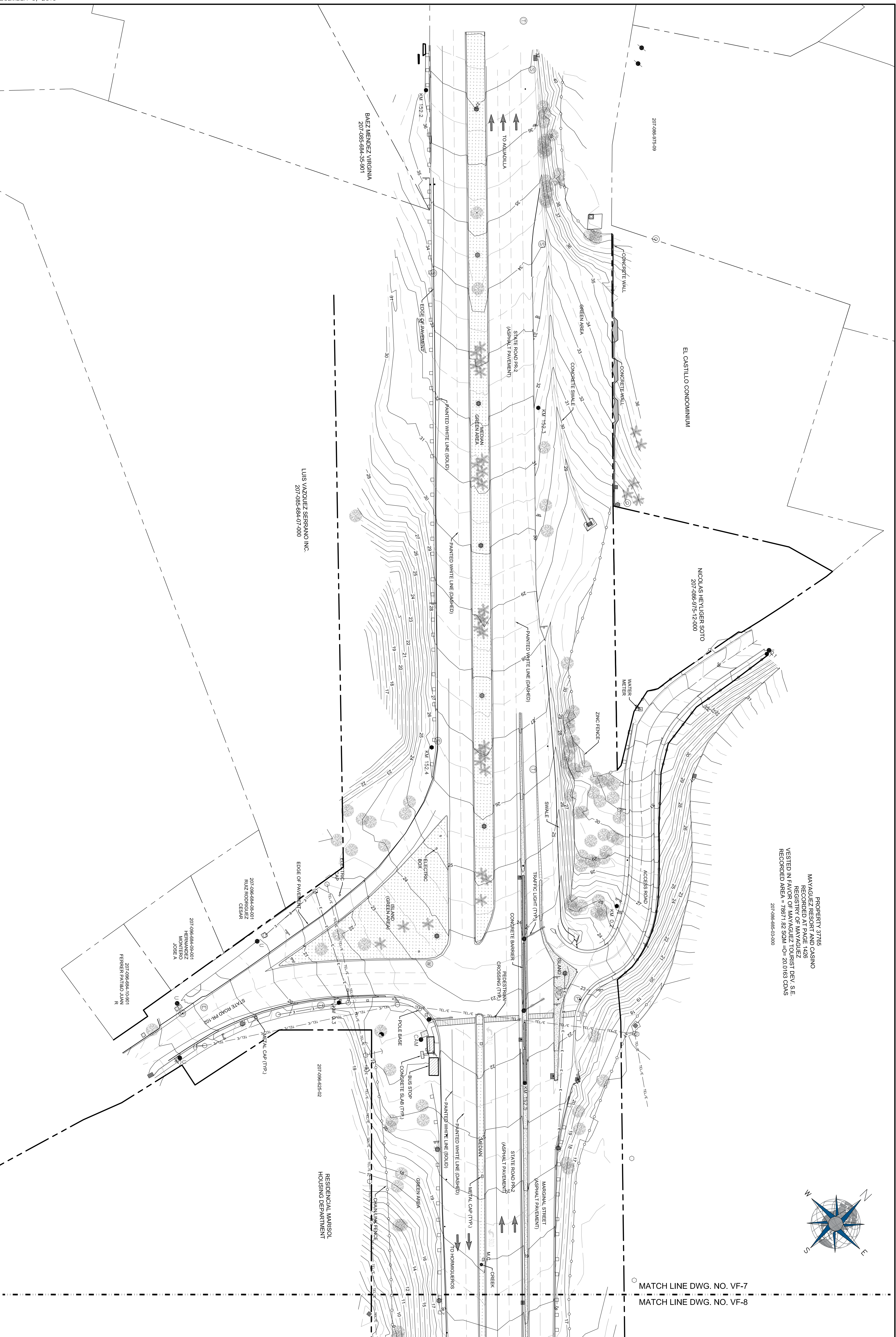
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CERTIFY CORRECT
I, JAVIER E. BIDOT CRUZ, HEREBY CERTIFY THAT THIS PLAN IS AN EXACT AND TRUE GRAPHIC REPRESENTATION OF THE EXISTING CONDITIONS.
JAVIER E. BIDOT CRUZ
LAND SURVEYOR LICENSE NO. 10222

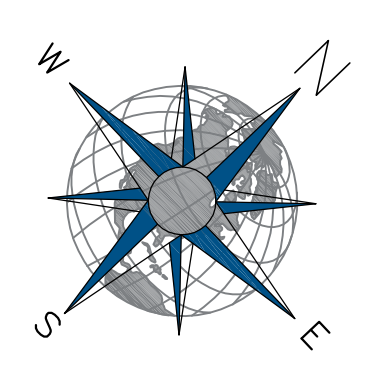
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TITLE SHEET
LEGEND, MAPS
GENERAL NOTES
& CONTROLS

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CHECKED BY: J.BIDOT	DATE: DEC. 9, 2016
DRAWING BY: V.G. / J.C.	PAPER SIZE: 24x36

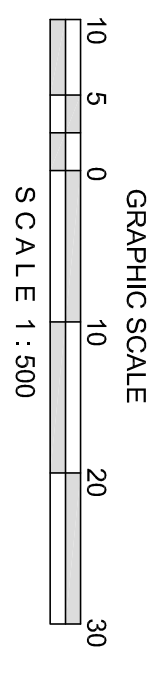
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 SCALE 1:500
 FOR LEGEND AND IMPORTANT NOTES, PLEASE SEE DRAWING NO. VF-1



PROPERTY 37765
 MAVAQUEZ RESORT AND CASINO
 RECORDED AT PAGE 1428
 REGISTRY OF MAVAQUEZ
 VESTED IN FAVOR OF MAVAQUEZ TOURIST DEV. S.E.
 RECORDED AREA = 79871.92 SQM TO = 201063 CPMS
 207-086-975-03-000



MATCH LINE DWG. NO. VF-7
 MATCH LINE DWG. NO. VF-8



GRAPHIC SCALE
 SCALE 1:500

PROJECT: 2937	DWG. NO. VF-7
CHECKED BY: J.C.	SHEET NO. 7
DATE: 9, 2016	SCALE: 1:500

CERTIFY CORRECT
 I, JAVIER E. BIDOT, CERTIFY THAT THIS PLAN IS AN EXACT AND TRUE GRAPHIC REPRESENTATION OF THE EXISTING CONDITIONS.
 JAVIER E. BIDOT
 LAND SURVEYOR
 LICENSE NO. 1979

EXISTING CONDITIONS, TOPOGRAPHIC AND SUBSURFACE UTILITY SURVEY
 FOR IMPROVEMENTS TO INTERSECTION PR-2, 2R AND SAN JUAN STREET (LA VITA)
 LOCATED AT STATE ROAD PR-2, KM 153.90, INT. WITH STATE ROAD PR-2R
 MUNICIPALITY OF MAYAGUEZ, PUERTO RICO

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 Land Surveyors & Consultants
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 www.jebpr.com

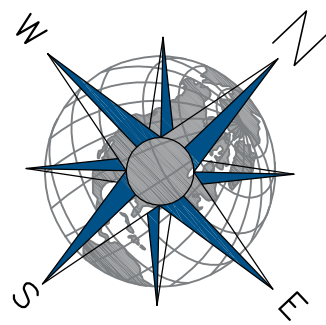
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REVISIONS			

EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY

FOR LEGEND AND IMPORTANT NOTES, PLEASE SEE DRAWING NO. VF-1

SCALE 1:500

GRAPHIC SCALE
SCALE 1:500



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MATCH LINE DWG. NO. VF-8

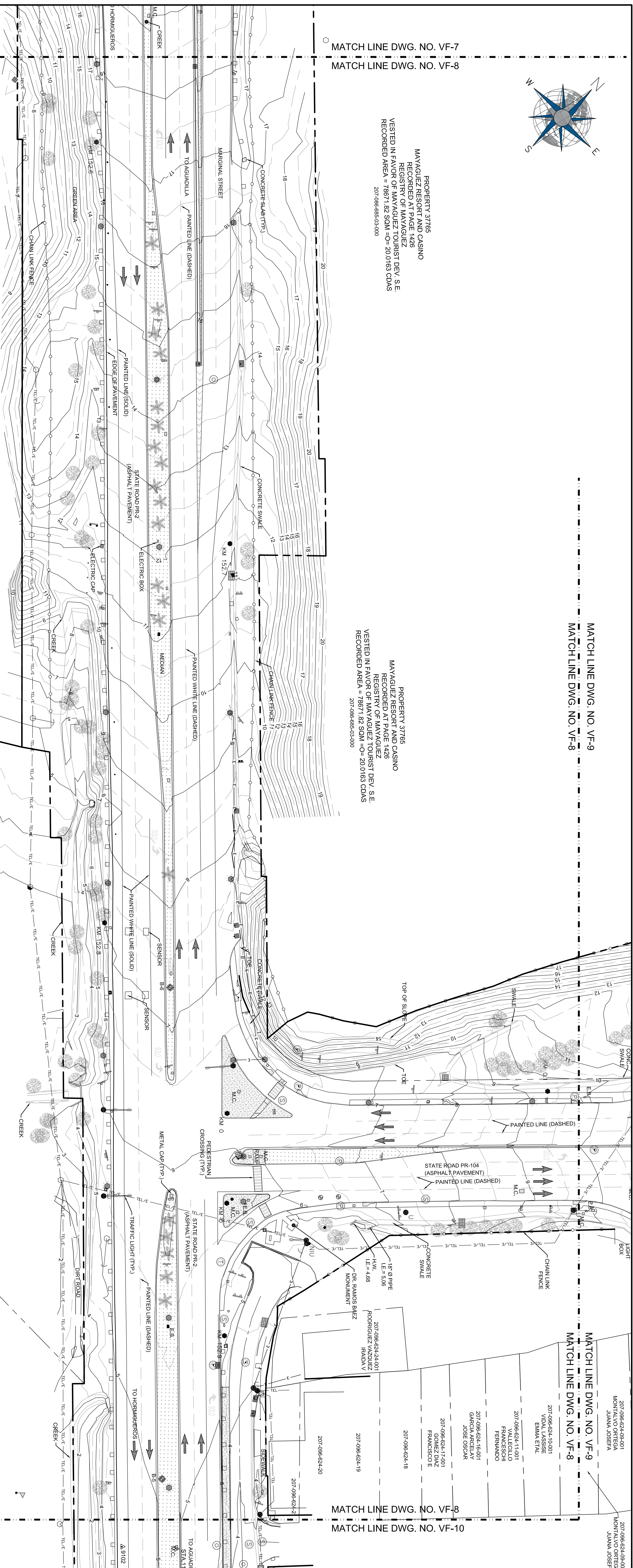
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2017-086-424-000

PROPERTY 2776
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REGISTERED AT PAGE 1426
REGISTERED IN FAVOR OF MAYAGUEZ TOURIST DEV. S.E.
RECORDED AREA = 78871.82 SQM = 20,0163 CDAS
2017-086-424-000

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MATCH LINE DWG. NO. VF-8

MATCH LINE DWG. NO. VF-9
MATCH LINE DWG. NO. VF-8

MATCH LINE DWG. NO. VF-8
MATCH LINE DWG. NO. VF-10



EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY

SCALE 1:500

PROJECT NO.	2937
DWG. NO.	VF-8
CHECKED BY	J.E.B.
DRAWING BY	J.C.
DATE	9/2016
SHEET NO.	8
TOTAL SHEETS	22

PAPER SIZE: A24x36

CERTIFY CORRECT

I, JAVIER E. BIDOT, REG. SURV. MEMBER CERTIFY THAT THIS PLAN IS AN ACCURATE AND TRUE GRAPHIC REPRESENTATION OF THE EXISTING CONDITIONS.

JAVIER E. BIDOT
LAND SURVEYOR
LICENSE NO. 1979

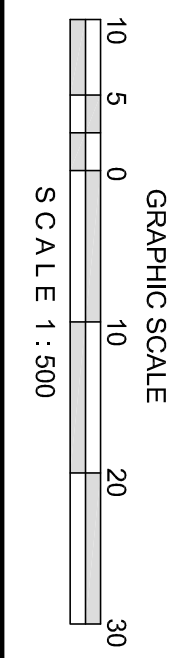
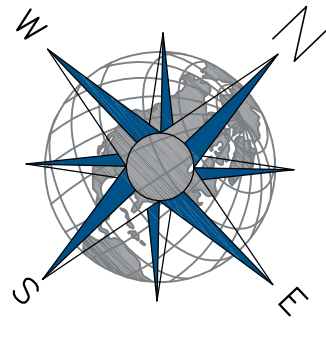
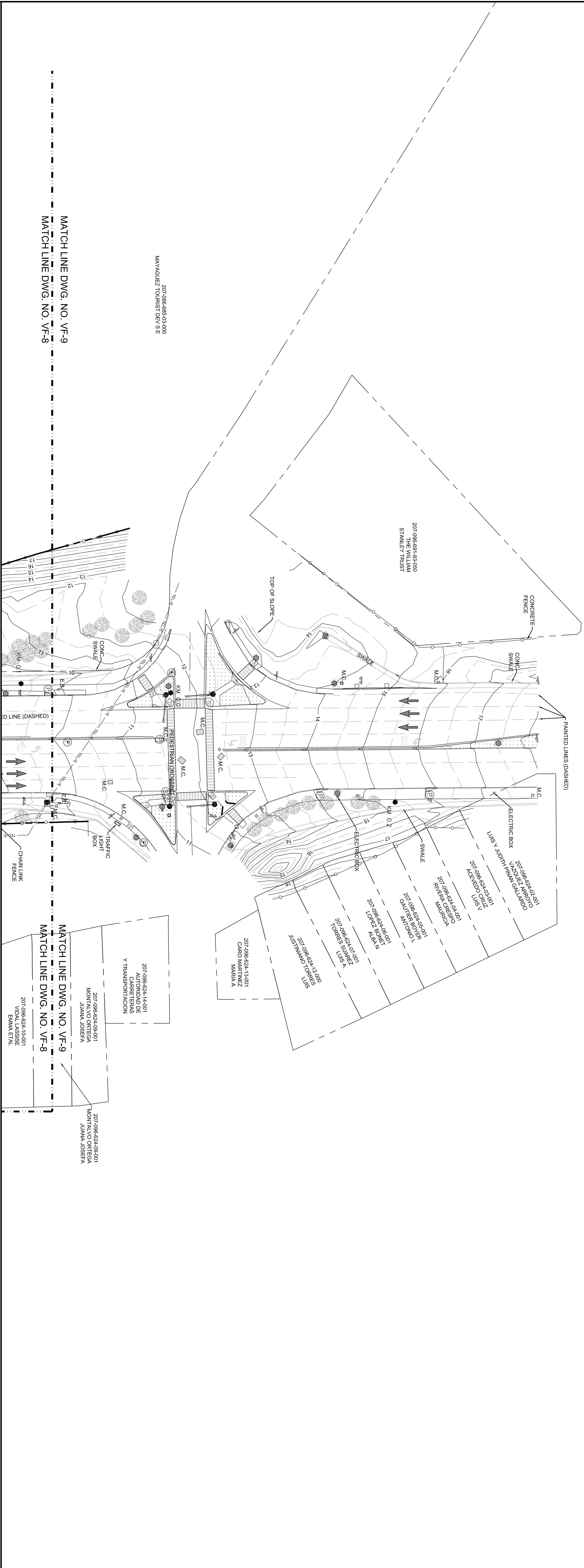
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SYM.	DESCRIPTIONS	BY:	DATE:
REVISIONS			

EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY
 SCALE 1:500
 FOR LEGEND AND IMPORTANT NOTES, PLEASE SEE DRAWING NO. VF-1



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DRAWING BY:	J.C.
DATE:	9. 2016
PROJECT:	2937
SHEET NO.:	9
DATE:	9. 2016

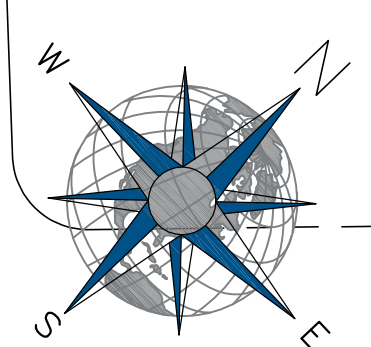
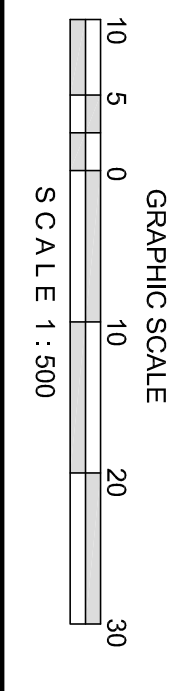
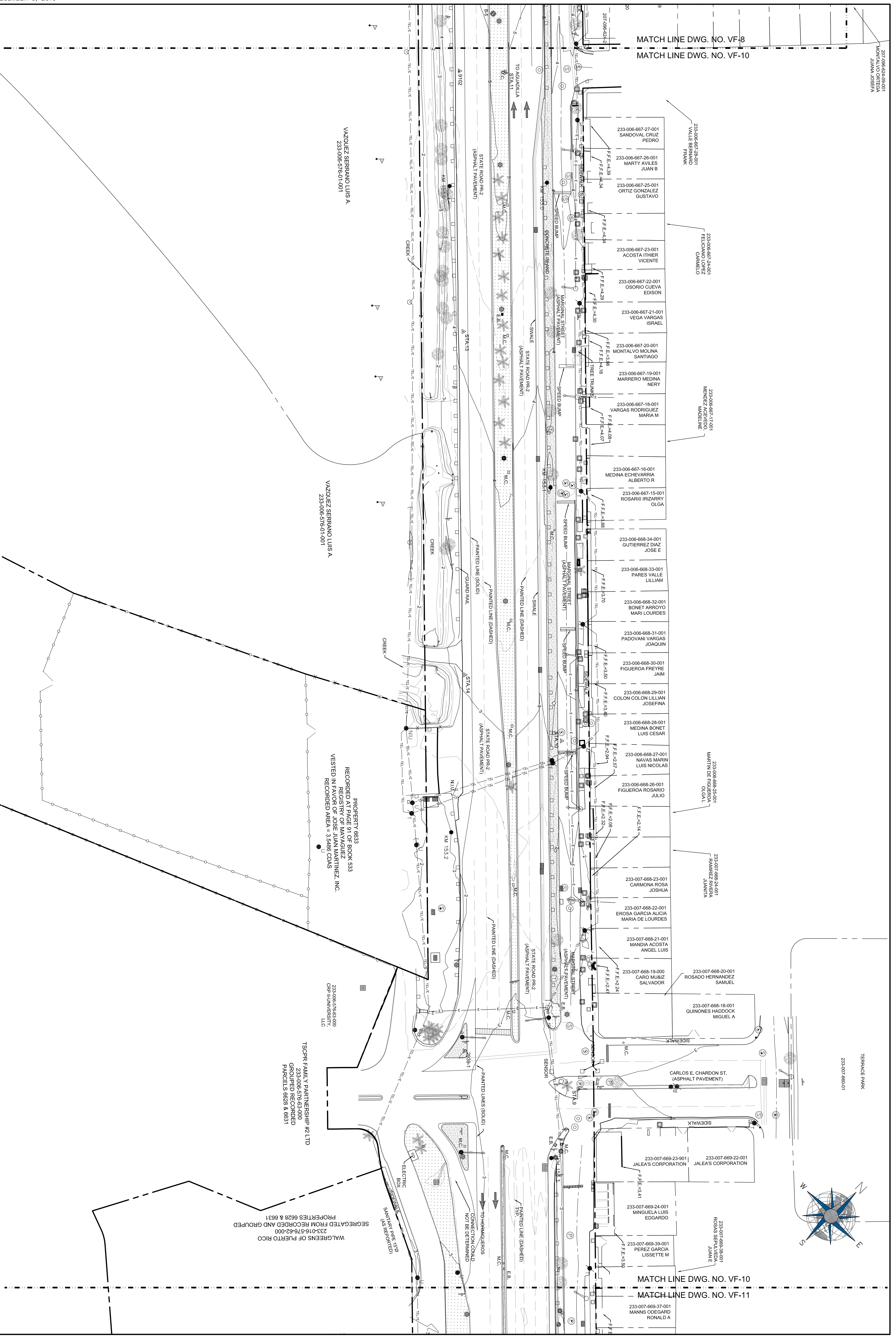
CERTIFY CORRECT
 I, JAVIER E. BIDOT, ENGINEER, HEREBY CERTIFY THAT THIS PLAN IS AN ACCURATE AND TRUE GRAPHIC REPRESENTATION OF THE EXISTING CONDITIONS.
 JAVIER E. BIDOT, ENGINEER
 1000 N. AVENUE 100, SUITE 100
 SAN JUAN, PUERTO RICO 00909

EXISTING CONDITIONS, TOPOGRAPHIC AND SUBSURFACE UTILITY SURVEY
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REVISIONS			

EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY
 SCALE 1:500
 FOR LEGEND AND IMPORTANT NOTES, PLEASE SEE DRAWING NO. VF-1



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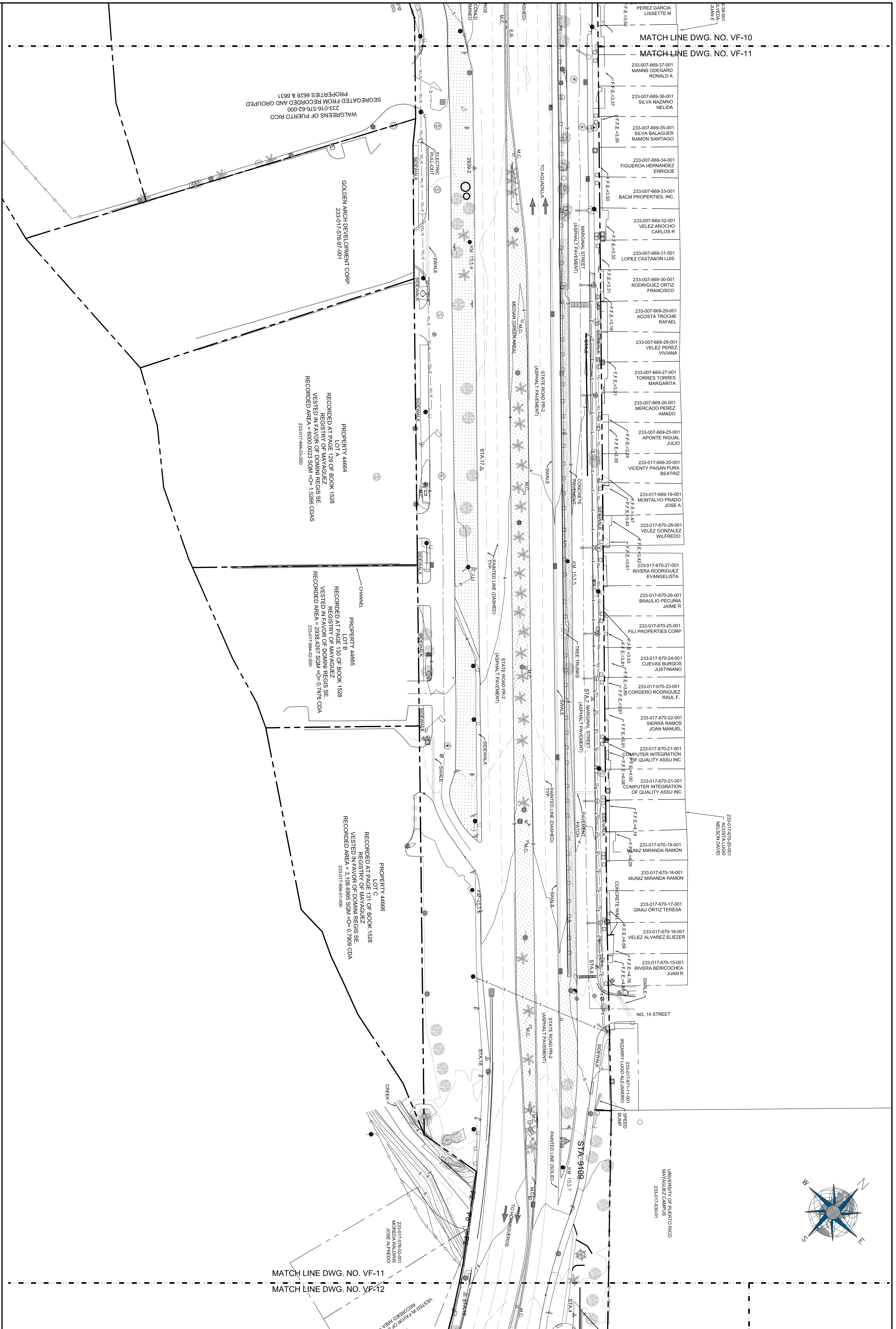
EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY
 JAVIER E. BIDOT GONZALEZ
 LAND SURVEYOR
 LICENSE NO. 1979

EXISTING CONDITIONS, TOPOGRAPHIC AND SUBSURFACE UTILITY SURVEY
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SYM.	DESCRIPTIONS	BY:	DATE:
REVISIONS			

EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY
 SCALE 1:500
 FOR LEGEND AND IMPORTANT NOTES, PLEASE SEE DRAWING NO. VF-1



MATCH LINE DWG. NO. VF-10
 MATCH LINE DWG. NO. VF-11

WALGREENS OF PUERTO RICO
 233-016-5762-500
 SEGREGATED FROM RECORDED AND GROUPED
 PROPERTIES 6628 & 6631

GOLDEN ARCH DEVELOPMENT CORP.
 233-017-5769-97-001

PROPERTY 44864
 RECORDED AT PAGE 129 OF BOOK 1528
 REGISTERED IN FAVOR OF DOMINI REGIS SE
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 233-017-694-03-000

PROPERTY 44865
 RECORDED AT PAGE 130 OF BOOK 1528
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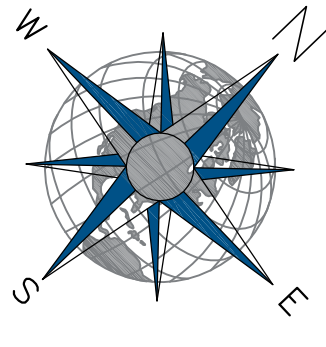
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 JOSE ALFREDO

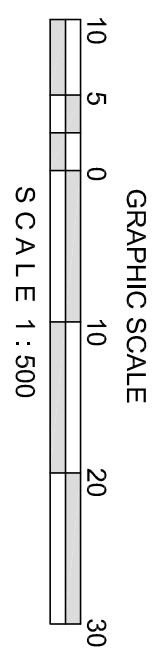
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- 233-007-669-36-001 SILVA NAZARIO NELIDA
- 233-007-669-35-001 SILVA BALAGUER RAMON SANTIAGO
- 233-007-669-34-001 FIGUEROA HERNANDEZ ENRIQUE
- 233-007-669-33-001 BACM PROPERTIES, INC.
- 233-007-669-32-001 VELEZ AROCHO CARLOS R
- 233-007-669-31-001 LOPEZ CASTAÑON LUIS
- 233-007-669-30-001 RODRIGUEZ ORTIZ FRANCISCO
- 233-007-669-29-001 ACOSTA TROCHE RAFAEL
- 233-007-669-28-001 VELEZ PEREZ VIVIANA
- 233-007-669-27-001 TORRES TORRES MARGARITA
- 233-007-669-26-001 MERCADO PEREZ AMADO
- 233-007-669-25-001 APONTE RIGUAL JULIO
- 233-017-669-20-001 VICENTY PAGAN PURA BEATRIZ
- 233-017-669-19-001 MONTALVO PRADO JOSE A
- 233-017-670-28-001 VELEZ GONZALEZ WILFREDO
- 233-017-670-27-001 RIVERA RODRIGUEZ EVANGELISTA
- 233-017-670-26-001 BRAULIO PECUNIA JAIME R
- 233-017-670-25-001 FILI PROPERTIES CORP
- 233-017-670-24-001 CUEVAS BURGOS JUSTINIANO
- 233-017-670-23-001 CORDERO RODRIGUEZ RAUL F.
- 233-017-670-22-001 SIERRA RAMOS JOAN MANUEL
- 233-017-670-21-001 COMPUTER INTEGRATION OF QUALITY ASSU INC
- 233-017-670-21-001 COMPUTER INTEGRATION OF QUALITY ASSU INC
- 233-017-670-19-001 MUNIZ MIRANDA RAMON
- 233-017-670-18-001 MUNIZ MIRANDA RAMON
- 233-017-670-17-001 GRAU ORTIZ TERESA
- 233-017-670-16-001 VELEZ ALVAREZ ELIEZER
- 233-017-670-15-001 RIVERA BERICOCHEA JUAN R

233-017-670-20-001
 ACOSTA LUGO
 NELSON DAVID

UNIVERSITY OF PUERTO RICO
 MAYAGUEZ CAMPUS
 233-017-639-011



MATCH LINE DWG. NO. VF-11
 MATCH LINE DWG. NO. VF-12



PROJECT: 2937-2939	DWG. NO: VF-11
CHECKED BY: J.C.	DRAWING NO: 11
DATE: 9, 2016	SCALE: 1:500

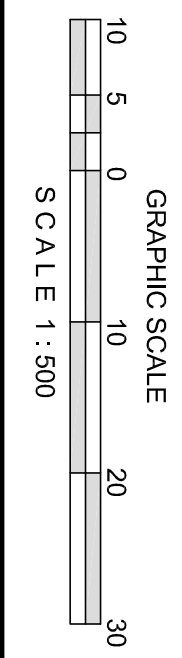
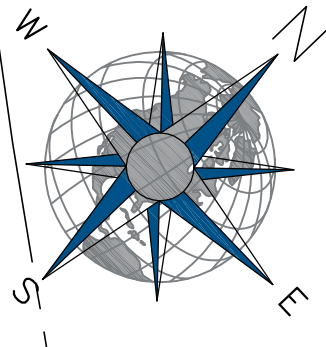
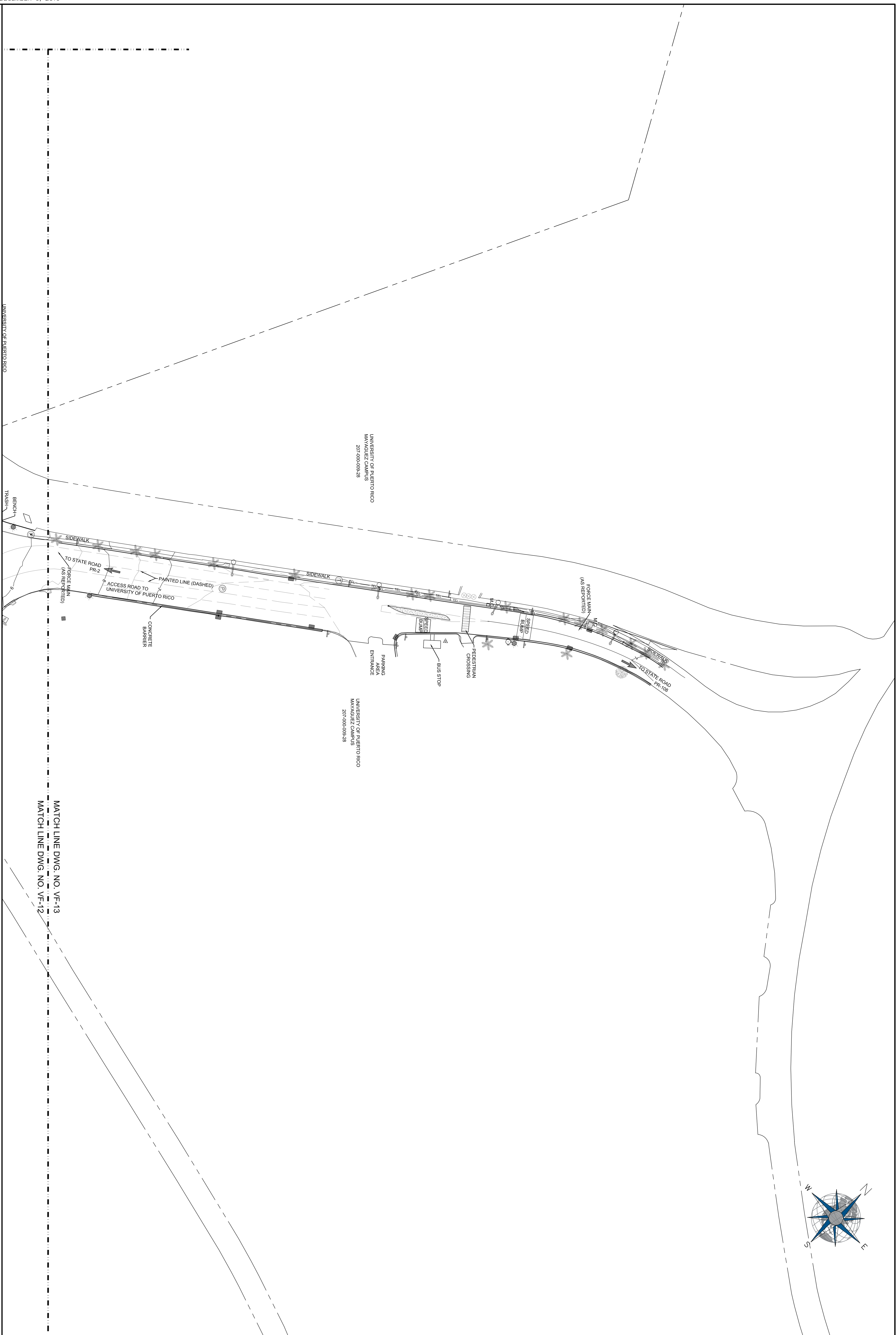
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 LAND SURVEYORS & CONSULTANTS
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SYM.	DESCRIPTIONS	BY:	DATE:

EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY
 SCALE 1:500
 FOR LEGEND AND IMPORTANT NOTES, PLEASE SEE DRAWING NO. VF-1



MATCH LINE DWG. NO. VF-13
 MATCH LINE DWG. NO. VF-12

PROJECT:	2937-VITA-SUS-EC
DWG. NO.:	VF-13
CHECKED BY:	J.C.
DRAWING BY:	J.C.
DATE:	9, 2016
PAPER SIZE:	24x36

CERTIFY CORRECT
 I, JAVIER E. BIDOT, REGISTERED PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS PLAN IS AN ACCURATE AND TRUE GRAPHIC REPRESENTATION OF THE EXISTING CONDITIONS.

JAVIER E. BIDOT, CHIEF
 LAND SURVEYOR
 LICENSE NO. 1979

EXISTING CONDITIONS, TOPOGRAPHIC AND SUBSURFACE UTILITY SURVEY
 FOR IMPROVEMENTS TO INTERSECTION PR-2, 2R AND SAN JUAN STREET (LA VITA)
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SYM.	DESCRIPTIONS	BY:	DATE:

REVISIONS

